

TOWN OF BRADFORD WEST GWILLIMBURY DECK PACKAGE

Property Address: _____

Deck Size: Width: _____ Length: _____ Material: _____

Deck Height: Ground to top of decking: _____

Stair Steps (pg. 5): Rise: _____ Run: _____

Decking: Size: _____ Material: _____

Guard: Height: _____

Type: ☐ 1. Cantilevered pickets system (see page 4)

☐ 2: Post and rail system (see page 5)

☐ 3: Other, please specify: _____

Steel, aluminum, and glass railing systems must be designed in accordance with the structural requirements of Part 4 of OBC Div. B and an engineered design must be submitted. PVC or composite decking with guard system must have BMEC approval or CCMC report accompanied with Minister ruling. A copy of all approvals is required.

Joists: Size: ____x____@____ on center Span: ____ Overhang: ____ (max. 2')

Beam: Size: ____x____x____ ply Span: ____ Overhang: ____ (max. 2')

Beam (if req.): Size: ____x____x____ ply Span: ____ Overhang: ____ (max. 2')

Post: Size: _____ (min. 4x4)

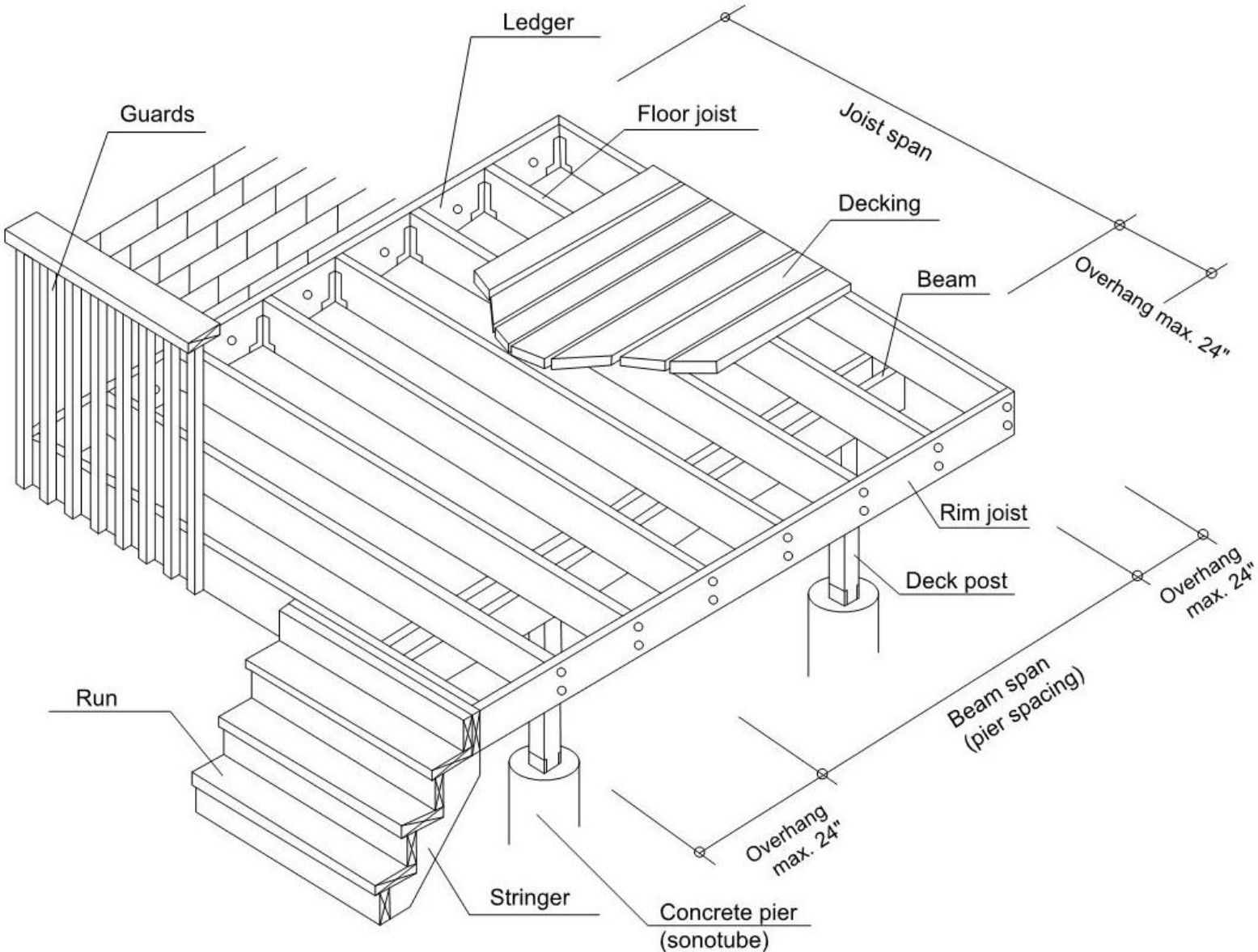
Footing: Sonotube: ____ diameter minimum 4' below grade

OR Deck Blocks (can only be used on detached deck with an area less than 592 ft²)

Deck Ledger (for attached decks):

 Ledger board size: _____ Lag bolt size: ____ (min. ½") Spacing: _____

 Lag bolt length: _____ (long enough to pass through the brick veneer and into wood)



- 1. All work whether detailed on plans or not is subject to the field review of the building inspector
- 2. Footings/sonotubes must bear on undisturbed soil minimum 48" below grade
- 3. Deck foundation/sonotubes shall extend not less than 6" above grade
- 4. Decks NOT attached to the house, and not more than 24" high, may rest on an approved deck block foundation system on grade
- 5. Decks attached to the house cannot be supported on brick veneer: they shall be attached to the house framing structure
- 6. Provide lateral support (diagonal knee bracing) to deck posts when posts are more than 600mm (24") in height
- 7. Provide mid span solid blocking where joists span over 6'11"
- 8. Deck requires a guard if it is 600mm (24") or greater in height
- 9. For decks more than 24" above grade and up to 5'11" above grade, the guard must be minimum 35" high with no climbable attachments and no openings greater than 4". For decks more than 5'11" above grade the guard must conform to the above except that the minimum height is 42"
- 10. Minimum 20 Gauge framing anchor to be used at post to rail connections

- 11. Provide solid blocking between joists at guard rail posts where guard is parallel to joist direction
- 12. Guards shall meet requirements set out in Div. B Subsection 9.8.8 and/ or SB-7 of the Supplemental Standards of 2012 OBC
- 13. Stairs with more than 3 risers shall have a handrail
- 14. Wood stair stringers shall be a minimum size of 2x10 and the space between stringers shall not be more than 2'11"
- 15. You shall respect the lot grading of your lot and those that surround it

Note: If the property is located within the regulated area of Conservation Authority (LSRCA or NVCA), the applicant shall obtain an approval or exemption letter from the authority

Designer Qualification: The homeowner of a house is allowed to design their own deck without being qualified under the OBC. **However, the design prepared should still be in sufficient detail to demonstrate that the project will comply with the technical requirement of OBC.**

Joists		Pier Size		
Joist Span	Joist Size	Pier Spacing		
		6'	8'	10'
10'	2x8	10" dia.	10" dia.	12" dia.
12'	2x10	10" dia.	12" dia.	12" dia.

Joists		Beam Size				
Joist span	Joist size	Pier Spacing				
		6'	8'	10'		
10'	2x8	2/2x8	2/2x10	3/2x8	2/2x12	3/2x10
12'	2x10	2/2x8	2/2x10	3/2x8	2/2x12	3/2x10

TABLE SIZES ARE ACCORDING TO 16" ON CENTER JOISTS

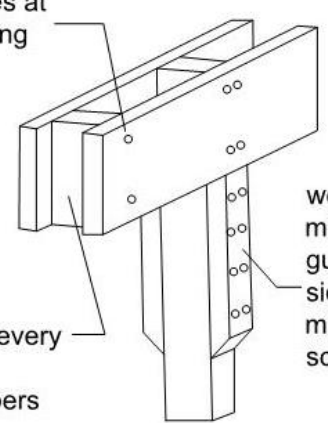
**TOWN OF BRADFORD WEST
GWILLIMBURY BUILDING DIVISION**
305 Barrie St, Unit 4B

To book an inspection:
PHONE: 905-778-2055, ext. 1500

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TYPICAL CONSRUCTION DETAILS

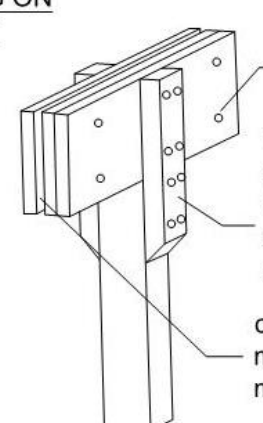
- Please indicate below which **Beam to Post Junction** detail you will be using by checking within the corresponding box:

☐ **BEAM FASTENED TO SIDE OF POST**


2 rows of 3" nails on both sides at every blocking

wood beam with min. 2x4x20" high gussets on both sides of post with minimum 8 - 3" screws or nails

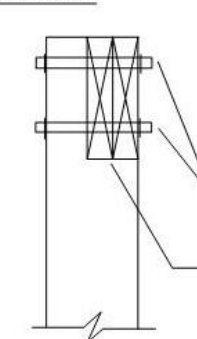
provide solid 2x (beam size) every 18" on center between members

☐ **BEAM SITTING ON TOP OF POST**


2 rows of 4" nails at 18" on center along length of beam each side


wood beam with min. 2x4x20" high gussets on both sides of post with minimum 8 - 3" screws or nails

continuous spacing material between members

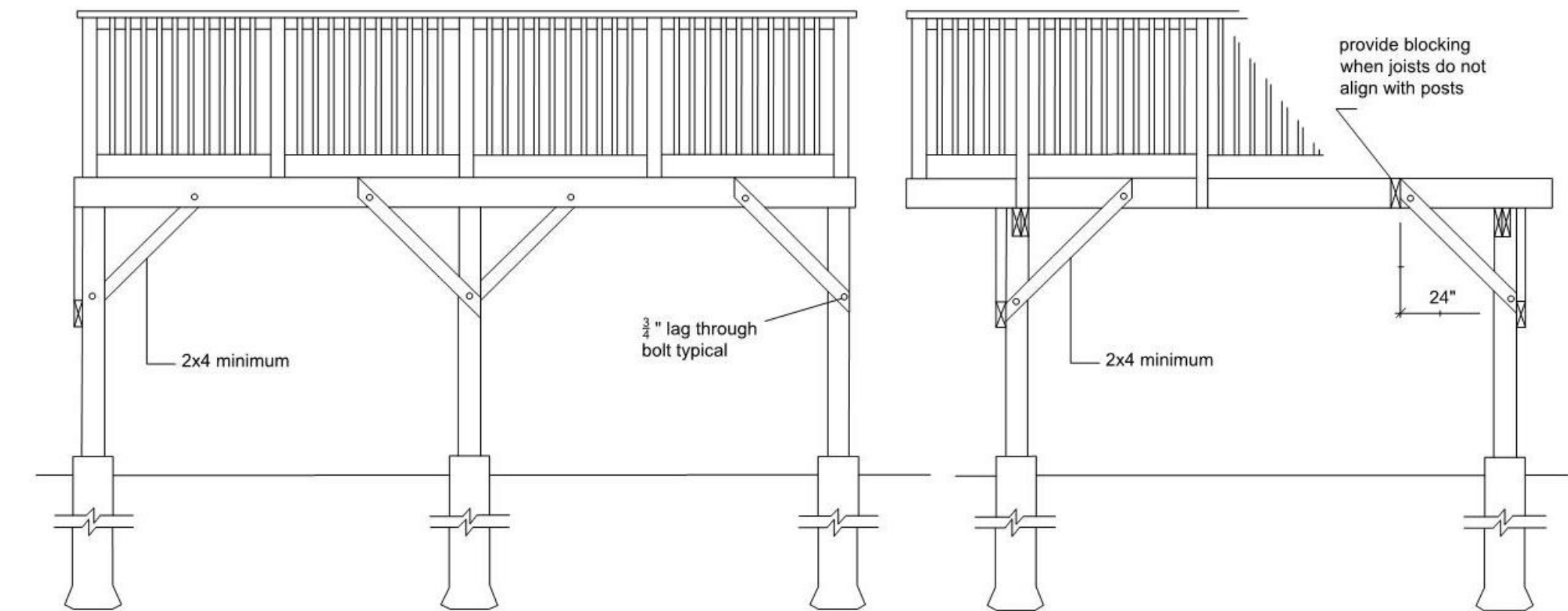
☐ **BEAM SITTING ON NOTCHED POST**


(2) 1/2" through bolts with washers

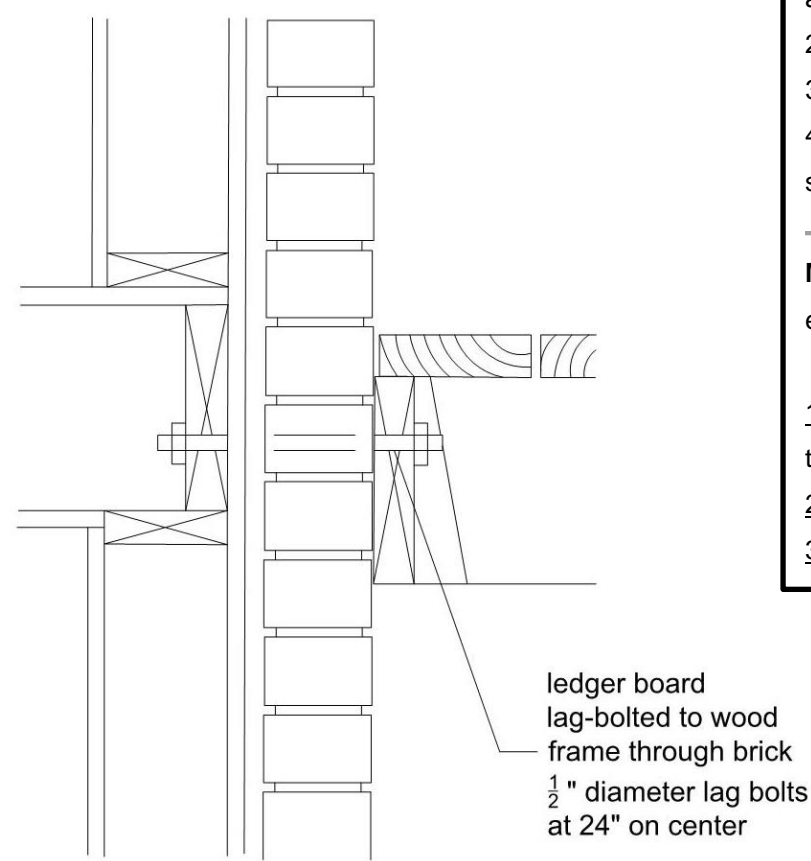
beam must bear fully on notch

☐ **BEAM SITTING ON POST CAP**


LATERAL BRACING DETAIL



WALL CONNECTION THROUGH BRICK DETAIL




Construction Notes:

1. Decks must be attached to house foundation or structural framing (**not brick veneer**) with minimum 1/2" lag bolts at maximum 24" on center
2. All fasteners shall be resistant to corrosion (galvanized)
3. No member or attachment between the height of 4" and 2'11" on the guard shall facilitate climbing
4. **All lumber shall be decay resistant** No. 2 (spruce, pin, fir) or better and all end cuts of pressure treated lumber shall be treated to prevent decay

Mandatory Inspections – Once the permit is obtained all work must be inspected at key stages of construction to ensure that construction is in accordance with the permit drawings and complies with the Ontario Building Code:

1. Footing Inspection (Before Pouring Concrete): holes are inspected to verify the depth, diameter, and spacing of the piers prior to placement of concrete
2. Framing Inspection: completion of framing components including the connection to the house
3. Final Inspection: required at the time of completion of deck flooring, guards, and stairs



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A Growing Tradition

TOWN OF BRADFORD WEST
GWILLIMBURY BUILDING DIVISION
305 Barrie St, Unit 4B

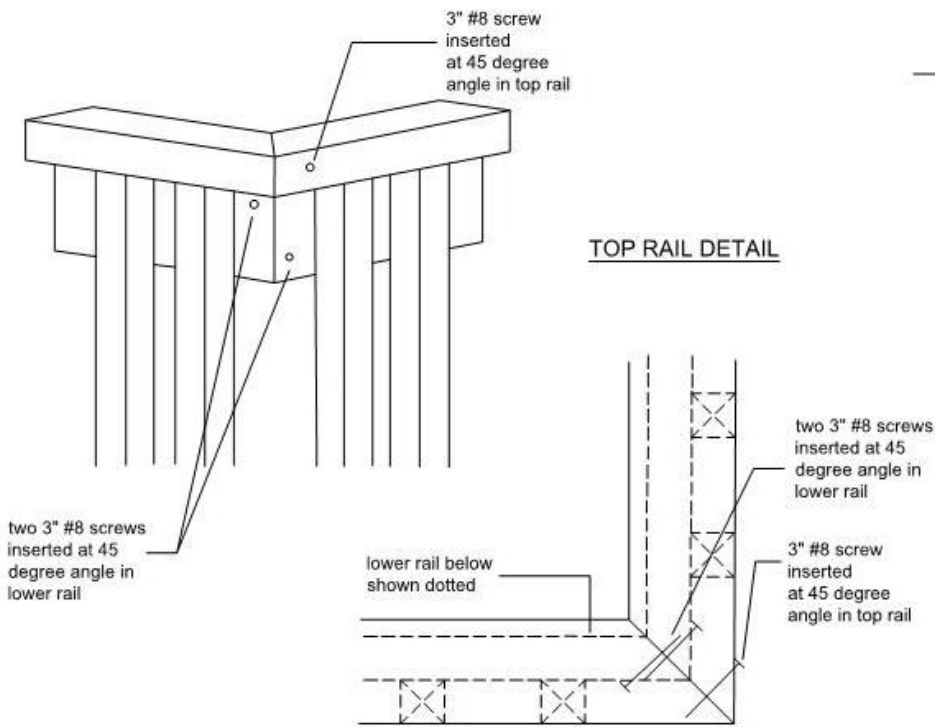
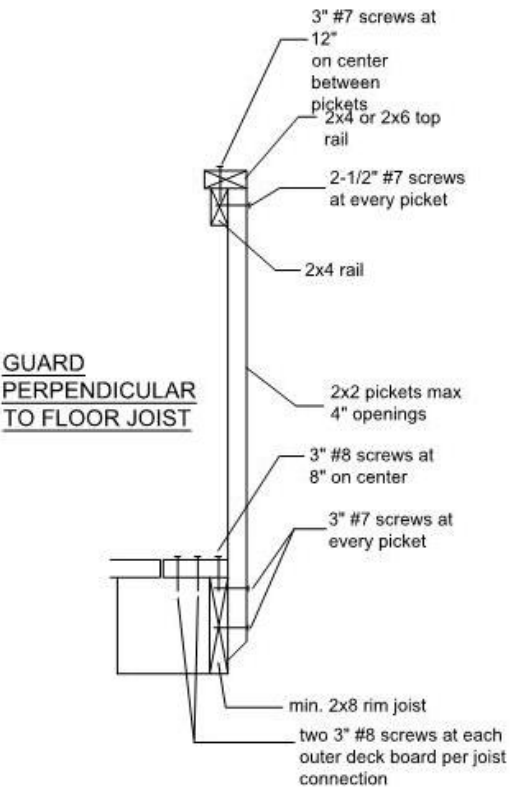
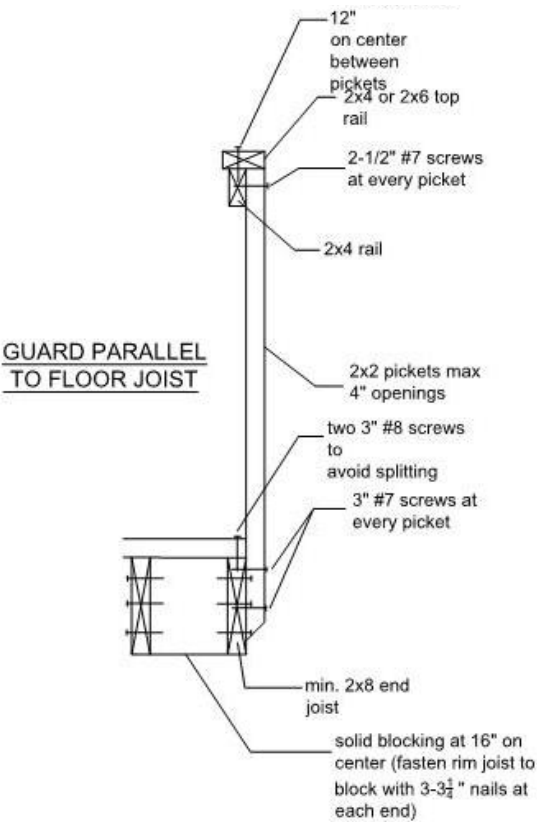
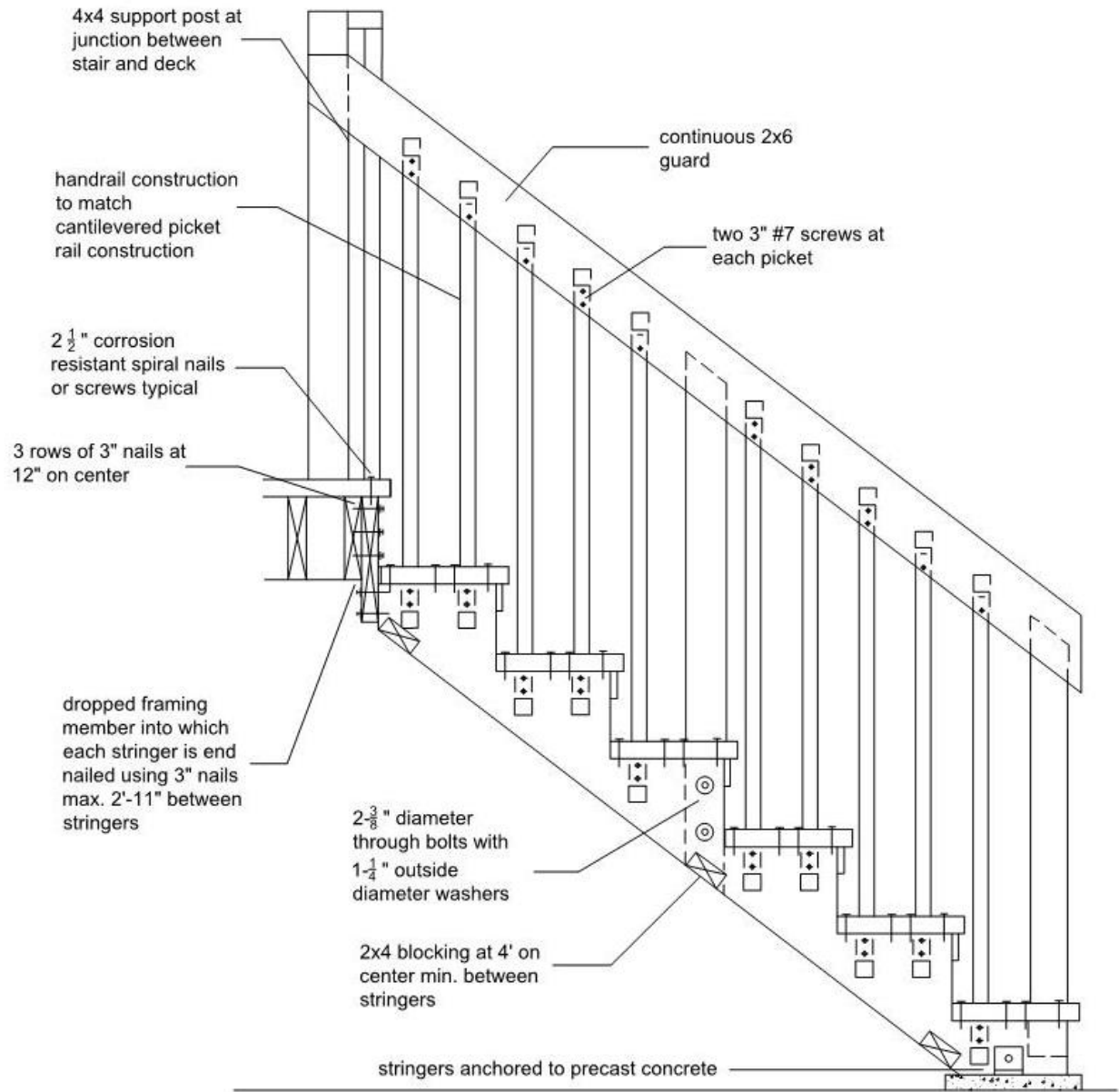
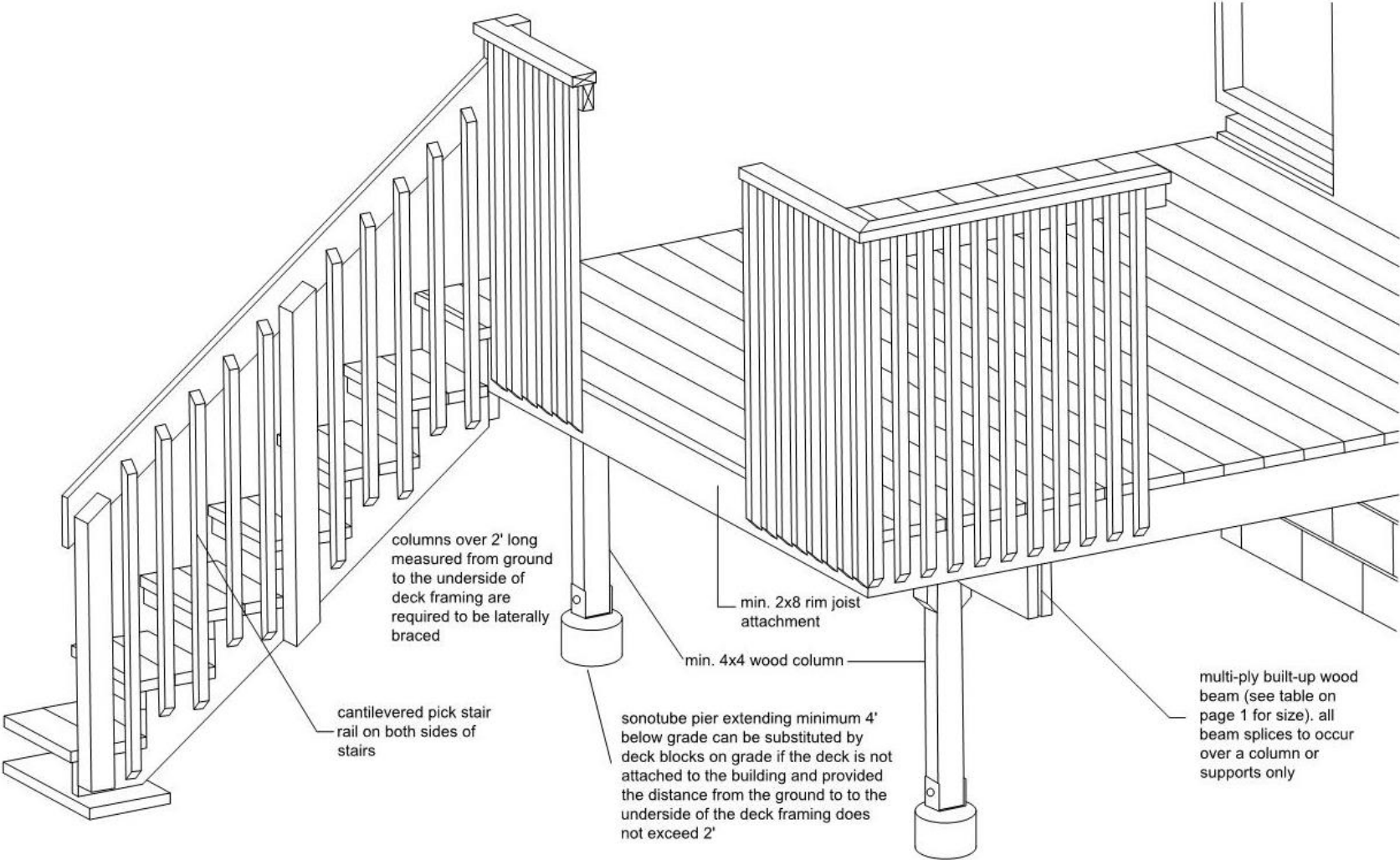
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Page 2

A cross-section diagram of a building floor system. The diagram shows a horizontal section of a floor with a central area labeled "joists @ 16\" on center". This central area is flanked by two sections labeled "beam". Below the beams, there are four circular piers, with the distance between them labeled "pier spacing". A vertical dimension line on the left indicates the "joist span". A chimney is shown on the left side of the floor, with a label "chimney" pointing to it. The diagram is a technical drawing showing the structural layout of the floor system.


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WOOD PICKET SYSTEM DETAILS



Cantilevered Picket Notes:

- 1. Provide a minimum of 10 pickets beyond the return if end restraint of the guard is provided by this return detail only. Otherwise a post is required (see post attachment detail on page 4).
- 2. Pre-drill pilot holes in pickets to avoid splitting



Bradford
west
Gwillimbury

A Growing Tradition

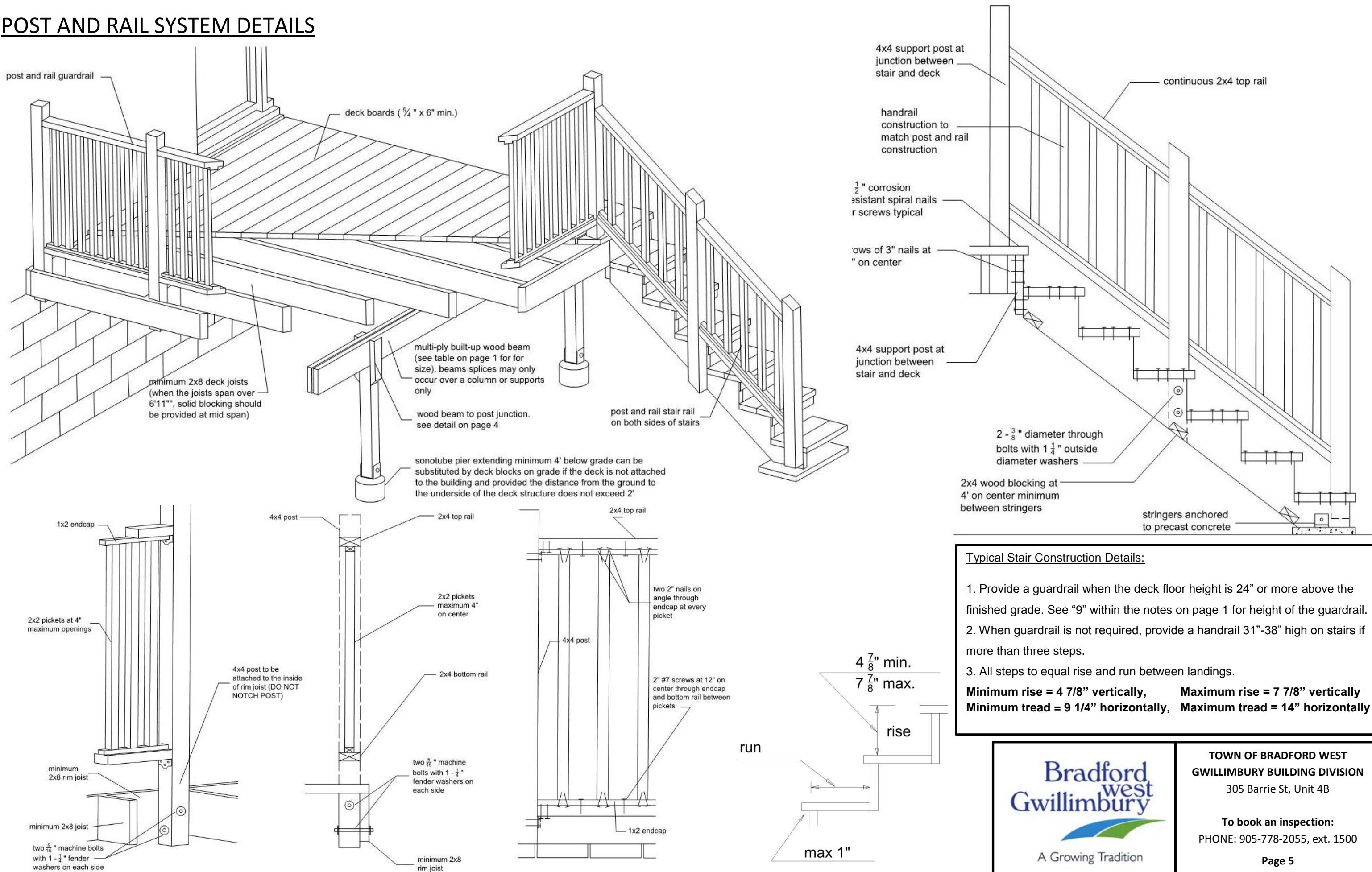
**TOWN OF BRADFORD WEST
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305 Barrie St, Unit 4B

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Page 4

POST AND RAIL SYSTEM DETAILS



Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority				
Application number:		Permit number (if different):		
Date received:		Roll number:		
Application submitted to: _____ (Name of municipality, upper-tier municipality, board of health or conservation authority)				
A. Project information				
Building number, street name			Unit number	Lot/con.
Municipality	Postal code	Plan number/other description		
Project value est. \$		Area of work (m ²)		
B. Purpose of application				
New construction	Addition to an existing building	Alteration/repair	Demolition	Conditional Permit
Proposed use of building		Current use of building		
Description of proposed work				
C. Applicant				
Applicant is:		Owner or	Authorized agent of owner	
Last name	First name	Corporation or partnership		
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number ()	Fax ()	Cell number ()		
D. Owner (if different from applicant)				
Last name	First name	Corporation or partnership		
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number ()	Fax ()	Cell number ()		

Application for a Permit to Construct or Demolish – Effective January 1, 2014

E. Builder (optional)					
Last name		First name		Corporation or partnership (if applicable)	
Street address				Unit number	Lot/con.
Municipality	Postal code		Province	E-mail	
Telephone number ()		Fax ()		Cell number ()	
F. Tarion Warranty Corporation (Ontario New Home Warranties Program)					
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.				Yes	No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?				Yes	No
iii. If yes to (ii) provide registration number(s): _____					
G. Required Schedules					
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities. ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.					
H. Completeness and compliance with applicable law					
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.				Yes	No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .				Yes	No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.				Yes	No
iv) The proposed building, construction or demolition will not contravene any applicable law.				Yes	No
I. Declaration of applicant					
I _____ declare that: (print name) 1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. _____ Date _____ Signature of applicant					

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Application for a Permit to Construct or Demolish – Effective January 1, 2014

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information					
Building number, street name				Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description			
B. Individual who reviews and takes responsibility for design activities					
Name			Firm		
Street address				Unit no.	Lot/con.
Municipality	Postal code	Province	E-mail		
Telephone number ()	Fax number ()		Cell number ()		
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]					
House		HVAC – House	Building Structural		
Small Buildings		Building Services	Plumbing – House		
Large Buildings		Detection, Lighting and Power	Plumbing – All Buildings		
Complex Buildings		Fire Protection	On-site Sewage Systems		
Description of designer's work					
D. Declaration of Designer					
I _____ declare that (choose one as appropriate): <div style="text-align: center;">(print name)</div> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4.of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: _____ Firm BCIN: _____ I review and take responsibility for the design and am qualified in the appropriate category as an “other designer” under subsection 3.2.5.of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____ The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____ I certify that: 1. The information contained in this schedule is true to the best of my knowledge. 2. I have submitted this application with the knowledge and consent of the firm. _____ Date _____ Signature of Designer					

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Uncovered Deck Setbacks

PERMITTED STRUCTURE OR FEATURE	APPLICABLE REQUIRED YARD(S)	REQUIRED SETBACK OR PERMITTED ENCROACHMENT
Uncovered Decks (0.6 m or less in height above finished grade)	Side yard Rear yard	No closer than 0.6 m from the side lot line. No closer than 1.2 m from the rear lot line.
Uncovered Decks (Greater than 0.6 m in height above finished grade)	Interior side yard Exterior side yard Rear yard	Required side yard setback of the zone in which the lot is located. This setback shall not apply where a side lot line extends from a common wall dividing attached dwelling units. No encroachment. No closer than 3.5 m to the rear lot line.
Stairs used to access an uncovered deck	Any setback for the deck or porch	An additional 1.0 m from the deck or porch, but in no case shall the encroachment for the stairs be closer than 1.0 m to the lot line.

Permit Fees:

Building Permit Fee: As per Schedule "A" of the current Building By-law

Assessment Fee: As per the Town's Fees & Charges By-law

Refundable Security Deposit (cash, cheque or debit): 10% of the estimated construction value (minimum of \$500.00 to maximum of \$2,000.00)