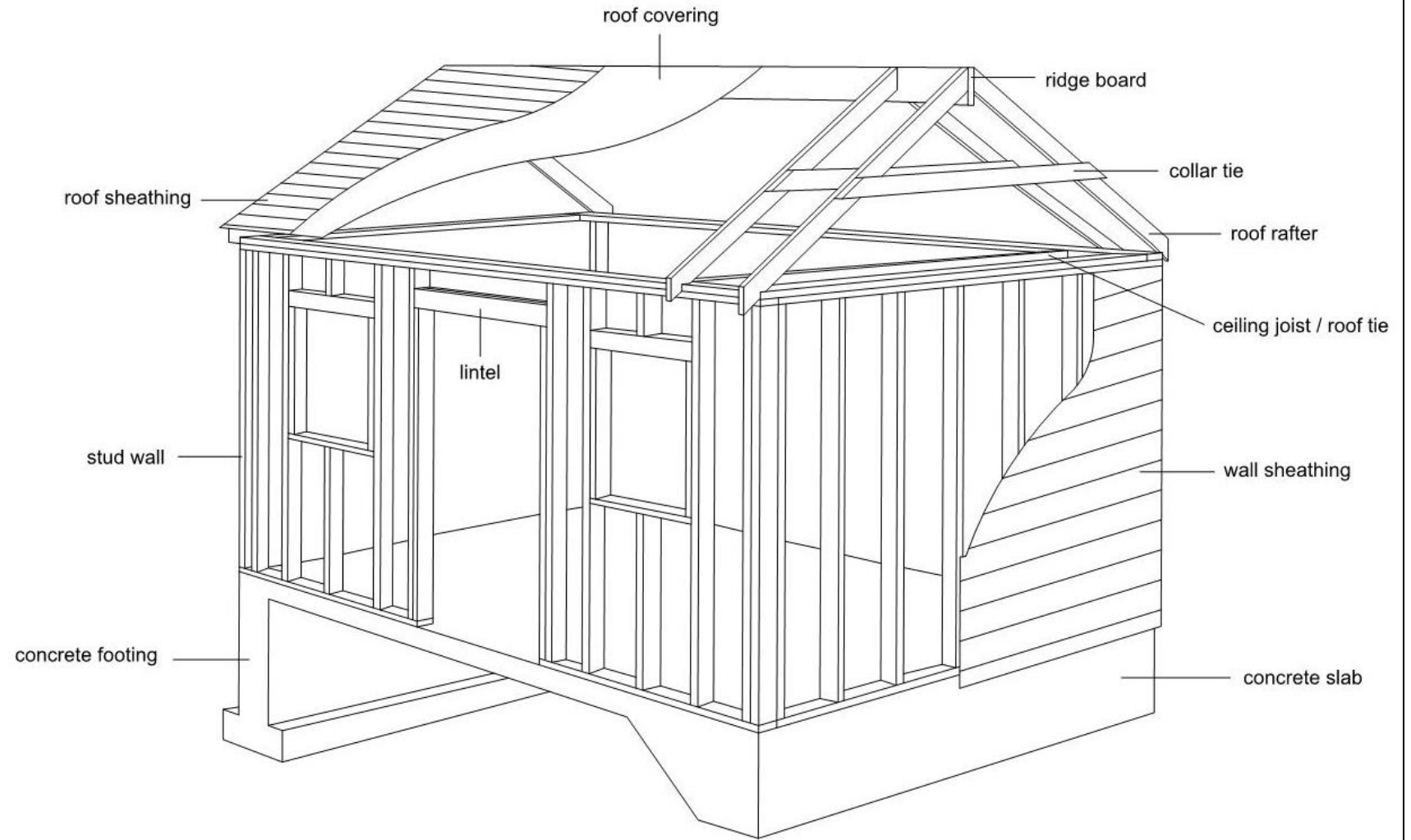
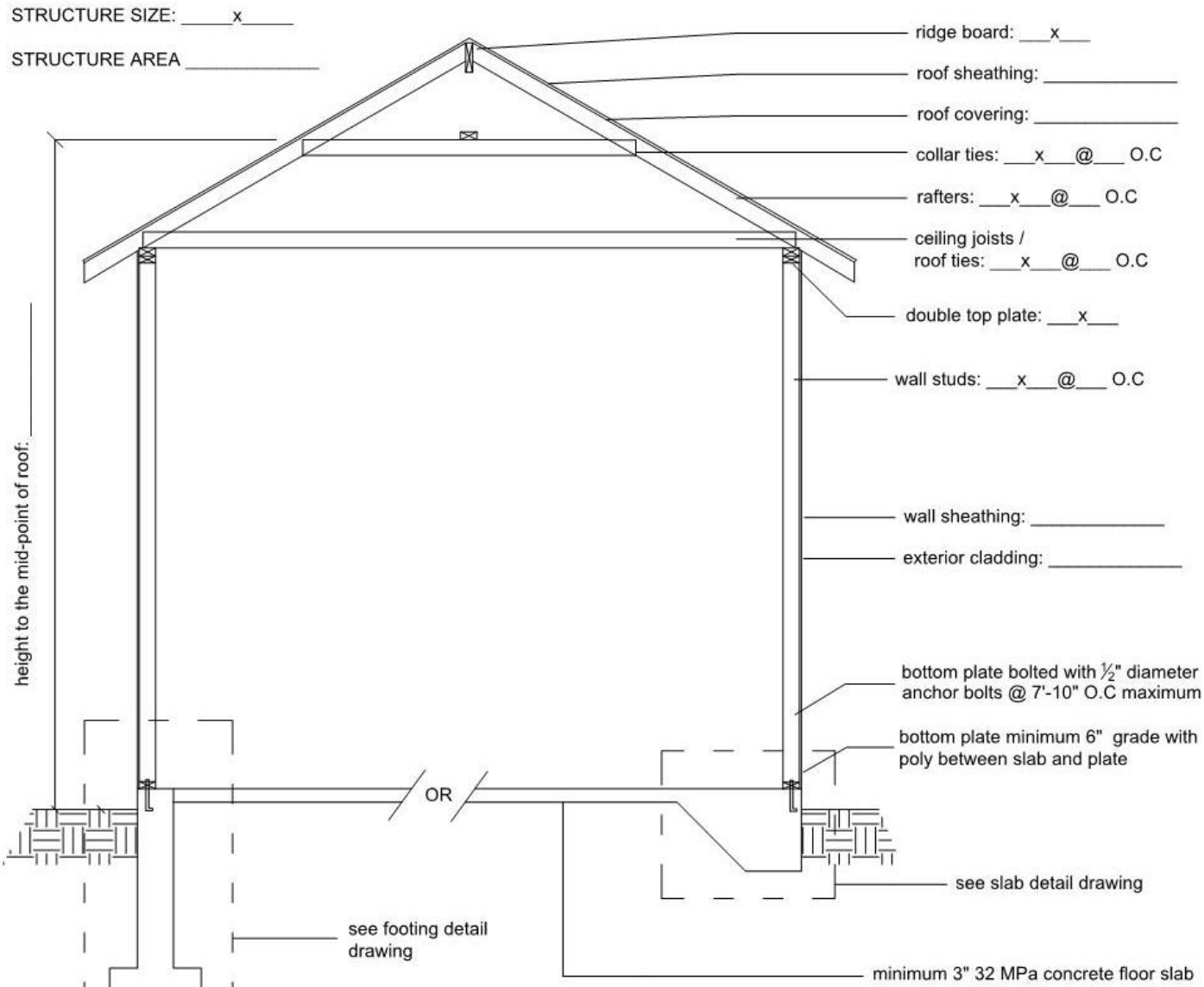


TOWN OF BRADFORD WEST GWILLIMBURY ACCESSORY STRUCTURE PACKAGE



A shed is exempt from the requirement to obtain a permit under section 8 of the Act and is exempt from compliance with the Ontario Building Code, provided that the shed,

- (a) is not more than 15 m² in gross area,
- (b) is not more than one storey in building height,
- (c) is not attached to a building or any other structure,
- (d) is used only for storage purposes ancillary to a principal building on the lot, and
- (e) does not have plumbing.

The above exemption is only applicable to sheds and not applicable for any other accessory structure.

Lot coverage allowances must be maintained and not exceeded for all accessory structures

Positive Drainage shall be maintained from the structure and surrounding structures within or adjacent to the lot

All truss designs must be stamped by a Professional Engineer and be accompanied by a completed Truss Review form (If typical roof rafters are not proposed.)

NOTE: If the property is located within the regulated area of Conservation Authority (LSRCA or NVCA), the applicant shall obtain an approval or exemption letter from the authority.

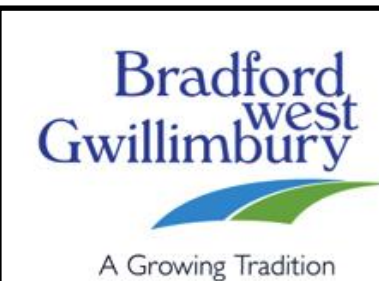
Designer Qualification: Detached structures of less than 55m² floor area and not more than 1 storey in height may be supported on wood mud sills (and therefore concrete slab) provided the garage is not of masonry veneer construction. Any design prepared by the homeowner must be in sufficient detail to comply with the technical requirements of OBC

| Roof Rafter Span Table | | | |
|------------------------|----------------|-------|-------|
| Member Size | Rafter Spacing | | |
| | 12" | 16" | 24" |
| 2 x 4 | 8'-11 | 8'-1 | 7'-1 |
| 2 x 6 | 14'-0 | 12'-9 | 11'-2 |
| 2 x 8 | 18'-5 | 16'-9 | 14'-6 |
| 2 x 10 | 23'-7 | 21'-5 | 17'-8 |
| 2 x 12 | 28'-8 | 25'-2 | 20'-6 |

| Ceiling Joist Span Table | | | |
|--------------------------|---------------|--------|-------|
| Member Size | Joist Spacing | | |
| | 12" | 16" | 24" |
| 2 x 4 | 10'-3 | 9'-3 | 8'-1 |
| 2 x 6 | 16'-1 | 14'-7 | 12'-9 |
| 2 x 8 | 21'-1 | 19'-2 | 16'-9 |
| 2 x 10 | 27'-0 | 24'-6 | 21'-5 |
| 2 x 12 | 32'-9 | 29'-10 | 26'-0 |

All spans and sizes within the tables are based off of Spruce No.1 & No. 2 grade lumber

| Lintels Over Doors and Windows | | |
|--------------------------------|--------------------------|-----------------|
| Opening Width | Lintels for Wood Framing | |
| | Not Supporting Roof | Supporting Roof |
| Up to 6'4 | 2 - 2 x 6 | 2 - 2 x 6 |
| Up to 9'-5 | 2 - 2 x 6 | 2 - 2 x 10 |
| Up to 16'-0 | 2 - 2 x 10 | Design Req'd |

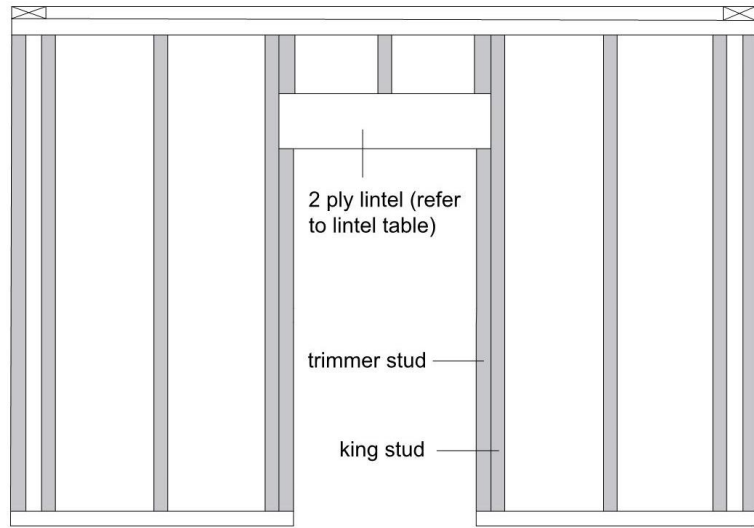


**TOWN OF BRADFORD WEST
 GWILLIMBURY BUILDING DIVISION**
 305 Barrie St, Unit 4B

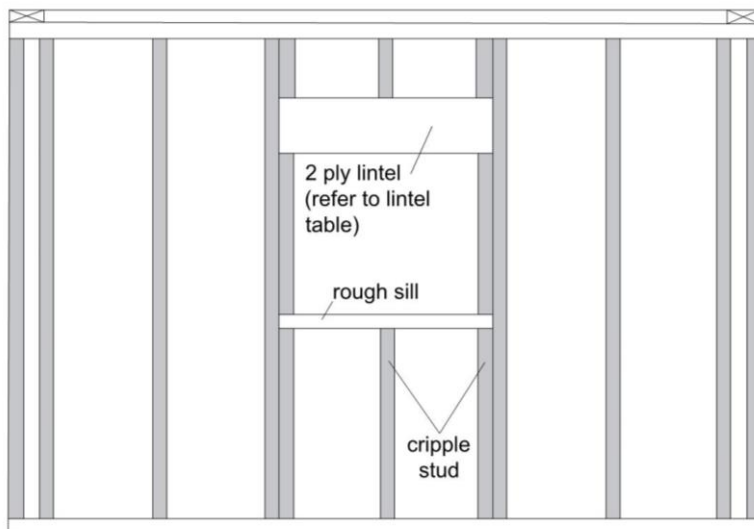
To book an inspection:
 PHONE: 905-778-2055, ext. 1500

FRAMING AND SLAB DETAILS

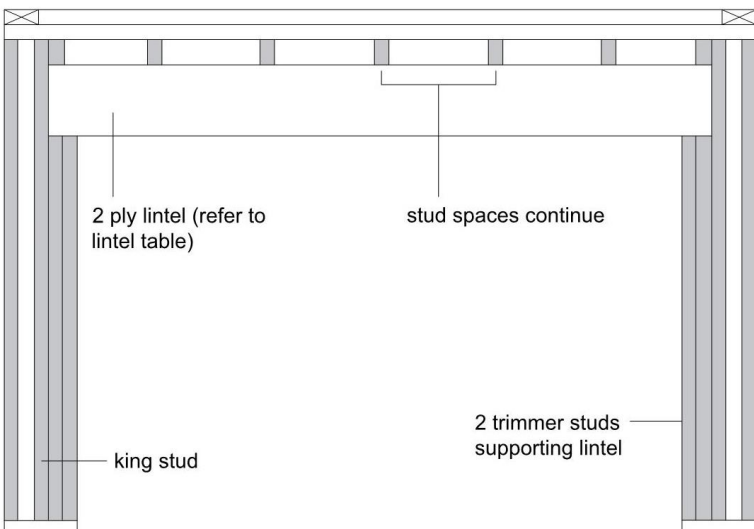
TYPICAL DOOR FRAMING



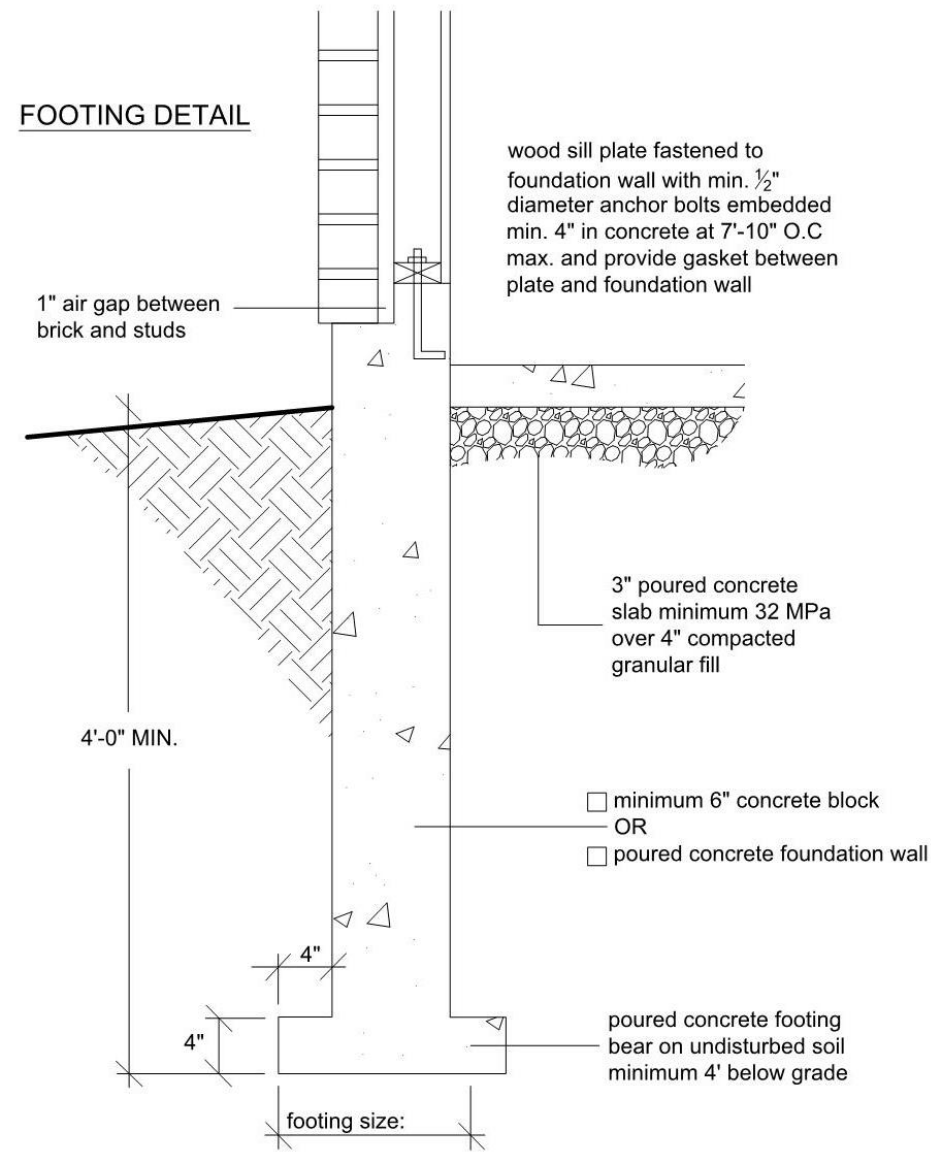
TYPICAL WINDOW FRAMING



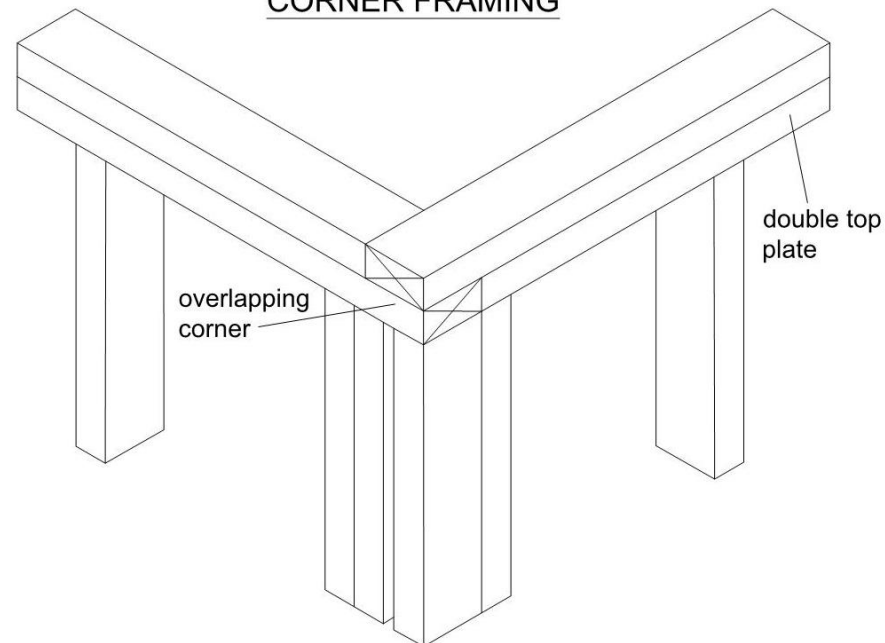
TYPICAL GARAGE FRAMING



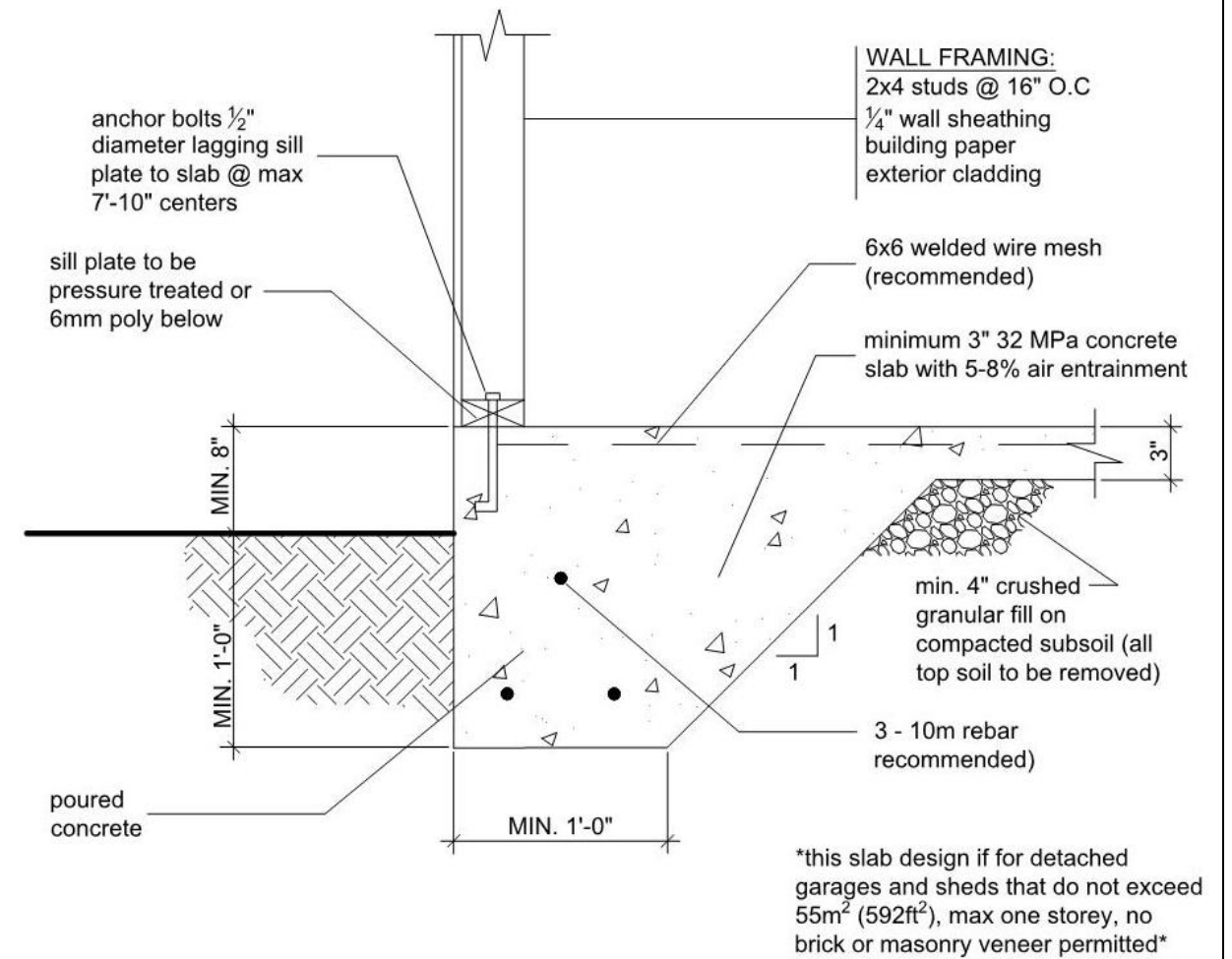
FOOTING DETAIL



TYPICAL UPPER CORNER FRAMING




FLOATING SLAB DETAIL



Framing Notes:

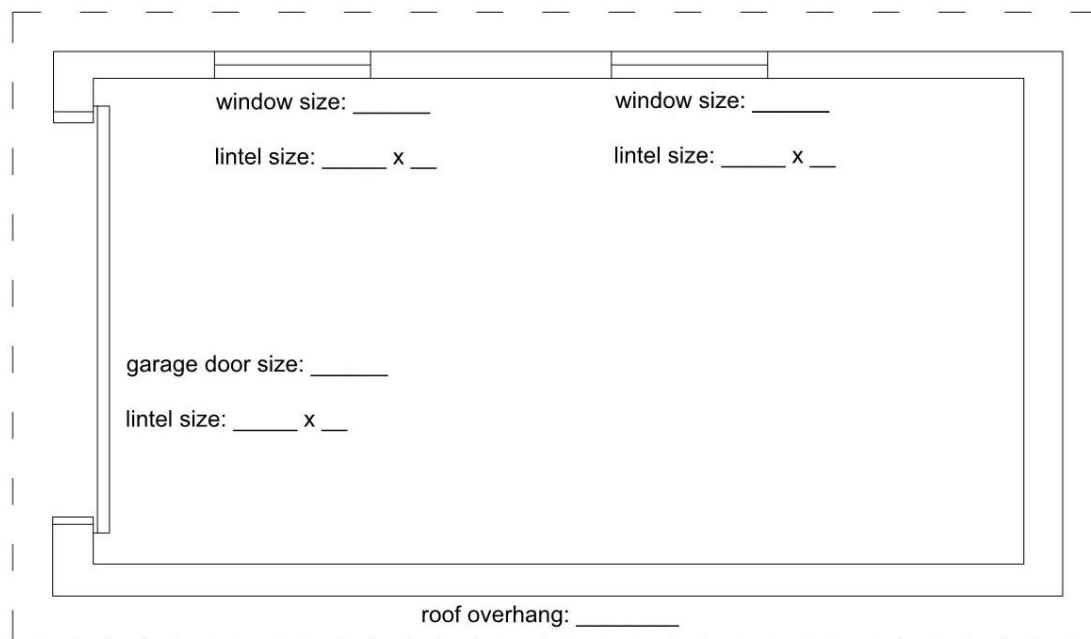
1. All nails shall be long enough so that not less than half their required length penetrates into the second member
2. Where sill plates provide bearing for the floor system they shall not be less than 2 x (width of wall)
3. The size of header joists exceeding 3.2m (10'-10) shall be determined by calculations
4. Studs are to be fastened to the top and bottom plates with no fewer than three 82mm toe-nails
5. Wall studs shall be continuous for the full storey height except at openings
6. The top plates in loadbearing walls shall be lapped or suitably tied at intersecting corners
7. Collar ties more than 2.4m long shall be laterally supported near their centers by not less than 2x4 continuous members at right angles to the collar ties
8. Plywood sheathing shall be installed with the surface grain at a right angle to the studs and/or rafters
9. All spans are measured horizontally from peak to supporting wall or collar tie

| | |
|---|---|
|  <p>Bradford west Gwillimbury</p> <p>A Growing Tradition</p> | <p>TOWN OF BRADFORD WEST GWILLIMBURY BUILDING DIVISION 305 Barrie St, Unit 4B</p> |
| | <p>To book an inspection: PHONE: 905-778-2055, ext. 1500</p> |

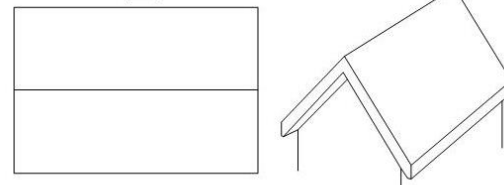
ACCESSORY STRUCTURE PLAN & ELEVATION DRAWINGS



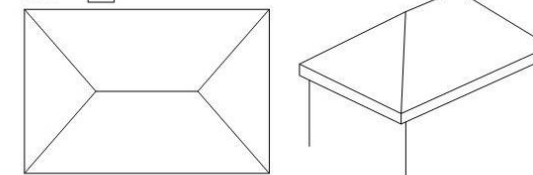
EXAMPLE FLOOR PLAN



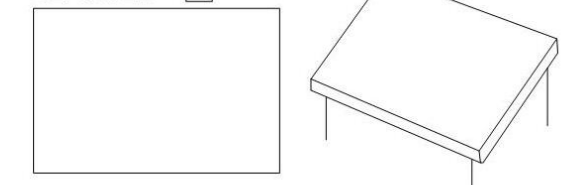
GABLE



HIP



SLANTED



1. Use the information within the package to draw the floor plan and all elevations of your structure

2. Be sure to include the following:

- Shape of structure
- Roof overhang
- Roof framing layout
- All openings
- Lintel sizes



**TOWN OF BRADFORD WEST
GWILLIMBURY BUILDING DIVISION**
305 Barrie St, Unit 4B

To book an inspection:
PHONE: 905-778-2055, ext. 1500

Date Received:
FOR INTERNAL USE ONLY



Permit #:
FOR INTERNAL USE ONLY

Town Of Bradford West Gwillimbury
Zoning Compliance Form
305 Barrie Street – Tel. (905) 778-2055 – Fax (905) 778-4343

IF APPLICABLE

Town of Bradford West Gwillimbury

305 Barrie Street, Unit 4B
Bradford, Ontario, Canada L3Z 2A9

Phone: 905-778-2055

Fax: 905-778-2035

Inspection Fax: 905-778-2035

Inspection E-mail: buildinginspections@townofbwg.com



www.townofbwg.com

Review Form for Roof Truss Layout

(For Part 9 Residential Buildings)

Project / Building Information

| | |
|-------------------|--|
| Building Address: | |
| Permit Number: | |

The roof truss layout and the trusses including truss uplift have been reviewed and coordinated with the building architectural / structural drawings and found to be:

- Acceptable
- Acceptable with the changes as noted

Reviewed By

| | |
|---|-------------|
| Signature of Prof. Engineer or Designer <small>(qualified in accordance with Division C – Part 3 Table 3-5-2-1)</small> | Date: |
| Print Name: | Project No: |
| Firm Name: | |
| Address: | |
| Contact Information: | |

All personal information this form is collecting pursuant to the *Municipal Freedom of Information and Protection Privacy Act* and the *Building Code Act, 1992, c. 23* and will be used for the purposes of the administration and enforcement of the *Building Code Act, 1992*. Questions regarding this collection may be directed to the Chief Building Official, Town of Bradford West Gwillimbury, 305 Barrie Street Unit 4B, Bradford, ON, L3Z 2A9, Telephone: 905-778-2055, Fax: 905-778-2035.

Revised (06/2016).

Please turn to the back of this page for submission instructions. This form must be attached to a sketch/survey of the subject property identifying all existing features as well as the proposed development. All dimensions on the sketch/survey as well as this form are to be in metric. For additional information, please contact the Development & Engineering Services at (905) 778-2055.

APPLICANT INFORMATION

| | |
|-------------|------------------|
| 1. Name: | 2. Phone Number: |
| 4. Address: | 3. Email: |

OWNER INFORMATION

| | |
|-------------|------------------|
| 5. Name: | 6. Phone Number: |
| 8. Address: | 7. Email: |

PROPERTY INFORMATION

| |
|--|
| 9. Municipal address of subject property: |
| 10. Legal description of subject property: |
| 11. Easements or restrictive covenants affecting the subject lands? (please circle): Y o N o |
| 12. Site plan agreement executed? (please circle): o Y o N o N/A |
| 13. Zoning by-law amendment / minor variance file no. (if applicable): |

PROJECT DESCRIPTION

| | | |
|--|--|--|
| 14. Type of construction (check applicable boxes): | <input type="checkbox"/> Residential | <input type="checkbox"/> New Construction |
| | <input type="checkbox"/> Industrial/Commercial | <input type="checkbox"/> Addition |
| | <input type="checkbox"/> Institutional | <input type="checkbox"/> Interior Alteration |
| | <input type="checkbox"/> Agricultural | |
| 15. Site Plan Control for Cannabis Producers: (as per By-law 2010-12 & By-law 2020-28) | <input type="checkbox"/> Yes, the agricultural use will include the growing of cannabis (please see item #15 on page 2 of this form) | |
| | <input type="checkbox"/> No, the agricultural use will not include the growing of cannabis | |
| 16. Road Occupancy Permit: | <input type="checkbox"/> Yes, please see item #16 on page 2 of this form | |
| | <input type="checkbox"/> No, public right-of-ways will not be affected | |
| 17. Existing use (please describe): | | |
| 18. Proposed use (please describe): | | |
| 19. Number of new residential units (if applicable): | | |
| 20. Description of project: | | |

| PROJECT DIMENSIONS (see page 2 for definitions) | TO BE PROVIDED | OFFICE USE |
|---|----------------|------------|
|---|----------------|------------|

| | | |
|---|--|--|
| 21. Lot area: | | |
| 22. Lot frontage: | | |
| 23. Lot depth: | | |
| 24. Existing footprint area: | | |
| 25. Existing total floor area: | | |
| 26. Additional footprint area: | | |
| 27. Additional total floor area: | | |
| 28. Coverage: | | |
| 29. Maximum Building height: | | |
| 30. Front yard: | | |
| Garage: Other Portions of the Dwelling: | | |
| 31. Rear yard: | | |
| 32. Side yard: | | |
| 33. Number of parking spaces including barrier-free parking spaces: | | |
| 34. Maximum Garage Opening: | | |
| 35. Maximum Garage Projection: | | |
| 36. Driveway width: | | |
| Min.: Max.: | | |
| 37. Site Triangle Dimensions: | | |

APPLICANT'S DECLARATION

| | | | | | |
|--|--|-------|----|-----|--------|
| "I hereby declare the statements above and those contained in all of the exhibits submitted herewith are true and accurate." | FOR INTERNAL USE ONLY | | | | |
| | Zoning By-law: <input type="checkbox"/> 2010-050 <input type="checkbox"/> 2263 <input type="checkbox"/> 79B25 <input type="checkbox"/> 81-37 | | | | |
| | Zone: | | | | |
| | | yes | no | n/a | notes: |
| | zone compliant?: | | | | |
| water?: | | | | | |
| sewer?: | | | | | |
| devel. agree?: | | | | | |
| Signature: | Reviewer: | Date: | | | |

THIS DOCUMENT IS NOT A BUILDING PERMIT AND DOES NOT CONSTITUTE PERMISSION TO CONSTRUCT

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

| For use by Principal Authority | | | |
|---|----------------------------------|------------------------------------|----------------------------|
| Application number: | | Permit number (if different): | |
| Date received: | | Roll number: | |
| Application submitted to: _____ (Name of municipality, upper-tier municipality, board of health or conservation authority) | | | |
| A. Project information | | | |
| Building number, street name | | Unit number | Lot/con. |
| Municipality | Postal code | Plan number/other description | |
| Project value est. \$ | | Area of work (m ²) | |
| B. Purpose of application | | | |
| New construction | Addition to an existing building | Alteration/repair | Demolition |
| Proposed use of building | | Current use of building | |
| Description of proposed work | | | |
| C. Applicant | | | |
| Applicant is: | | Owner or Authorized agent of owner | |
| Last name | | First name | Corporation or partnership |
| Street address | | Unit number | Lot/con. |
| Municipality | Postal code | Province | E-mail |
| Telephone number () | Fax () | Cell number () | |
| D. Owner (if different from applicant) | | | |
| Last name | | First name | Corporation or partnership |
| Street address | | Unit number | Lot/con. |
| Municipality | Postal code | Province | E-mail |
| Telephone number () | Fax () | Cell number () | |

Application for a Permit to Construct or Demolish – Effective January 1, 2014

| E. Builder (optional) | | |
|---|------------------------|--|
| Last name | First name | Corporation or partnership (if applicable) |
| Street address | | Unit number Lot/con. |
| Municipality | Postal code | Province E-mail |
| Telephone number () | Fax () | Cell number () |
| F. Tarion Warranty Corporation (Ontario New Home Warranty Program) | | |
| i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G. | Yes | No |
| ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ? | Yes | No |
| iii. If yes to (ii) provide registration number(s): _____ | | |
| G. Required Schedules | | |
| i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities. | | |
| ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system. | | |
| H. Completeness and compliance with applicable law | | |
| i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made. | Yes | No |
| ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> . | Yes | No |
| iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law. | Yes | No |
| iv) The proposed building, construction or demolition will not contravene any applicable law. | Yes | No |
| I. Declaration of applicant | | |
| I _____ declare that: (print name) | | |
| <ol style="list-style-type: none"> 1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. | | |
| _____ | _____ | |
| Date | Signature of applicant | |

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Application for a Permit to Construct or Demolish – Effective January 1, 2014

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

| A. Project Information | | | |
|---|-------------------------------|--------------------------------|--------|
| Building number, street name | Unit no. | Lot/con. | |
| Municipality | Postal code | Plan number/ other description | |
| B. Individual who reviews and takes responsibility for design activities | | | |
| Name | Firm | | |
| Street address | Unit no. | Lot/con. | |
| Municipality | Postal code | Province | E-mail |
| Telephone number () () | Fax number () () | Cell number () () | |
| C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C] | | | |
| House | HVAC – House | Building Structural | |
| Small Buildings | Building Services | Plumbing – House | |
| Large Buildings | Detection, Lighting and Power | Plumbing – All Buildings | |
| Complex Buildings | Fire Protection | On-site Sewage Systems | |
| Description of designer's work | | | |
| D. Declaration of Designer | | | |
| I _____ declare that (choose one as appropriate): <div style="text-align: center;">(print name)</div> | | | |
| I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. | | | |
| Individual BCIN: _____ | | | |
| Firm BCIN: _____ | | | |
| I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. | | | |
| Individual BCIN: _____ | | | |
| Basis for exemption from registration: _____ | | | |
| The design work is exempt from the registration and qualification requirements of the Building Code. | | | |
| Basis for exemption from registration and qualification: _____ | | | |
| I certify that: | | | |
| 1. The information contained in this schedule is true to the best of my knowledge. | | | |
| 2. I have submitted this application with the knowledge and consent of the firm. | | | |
| _____ Date | | _____ Signature of Designer | |

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

4.1.2 Lot Coverage

Unless otherwise specified in this By-law, the total *lot coverage* of all detached *accessory buildings* and *structures*, except *swimming pools*, shall not be more than 15 percent.

Within a Commercial, Employment or Institutional *Zone*, all detached *accessory buildings* and *structures* shall be included in the total *lot coverage*.

4.1.3 Height

The maximum *height* of any detached *accessory building* or *structure* shall be as follows:

- a) In a Residential One (R1), Residential Two (R2) or Residential Three (R3) *Zone* - 3.0 metres;
- b) In a Rural Settlement Residential (R4) or Estate Residential (ER) *Zone* - 5.0 metres; or,
- c) In any Countryside, Commercial, Employment, or Institutional (I) *Zone*, the *height* of any *accessory building* or *structure* shall not exceed the *height* restrictions for a *main building* in the respective *Zone*.

| PERMITTED STRUCTURE OR FEATURE | APPLICABLE REQUIRED YARDS | REQUIRED SETBACK OF PERMITTED ENCROACHMENT |
|---|-----------------------------------|---|
| ACCESSORY BUILDINGS/STRUCTURES: | | |
| Residential <i>accessory buildings/structures</i> 3.0 m or less in <i>height</i> | <i>Rear or interior side yard</i> | No closer than 0.6 m from the <i>rear</i> or <i>side lot line</i> . |
| Residential <i>accessory buildings/structures</i> 3.1 m in <i>height</i> or greater | <i>Rear or interior side yard</i> | No closer than 1.2 m from the <i>rear</i> or <i>side lot line</i> . |

PERMIT FEES

| | |
|--|--|
| Grading (if applicable) | As per the Town's Fees & Charges By-law |
| Assessment | As per the Town's Fees & Charges By-law |
| Building Permit | As per Schedule "A" of the current Building By-law |
| Refundable security deposit (cash, cheque or debit only) | 10% of estimated construction value (minimum of \$500.00 to maximum of \$2,000.00) |